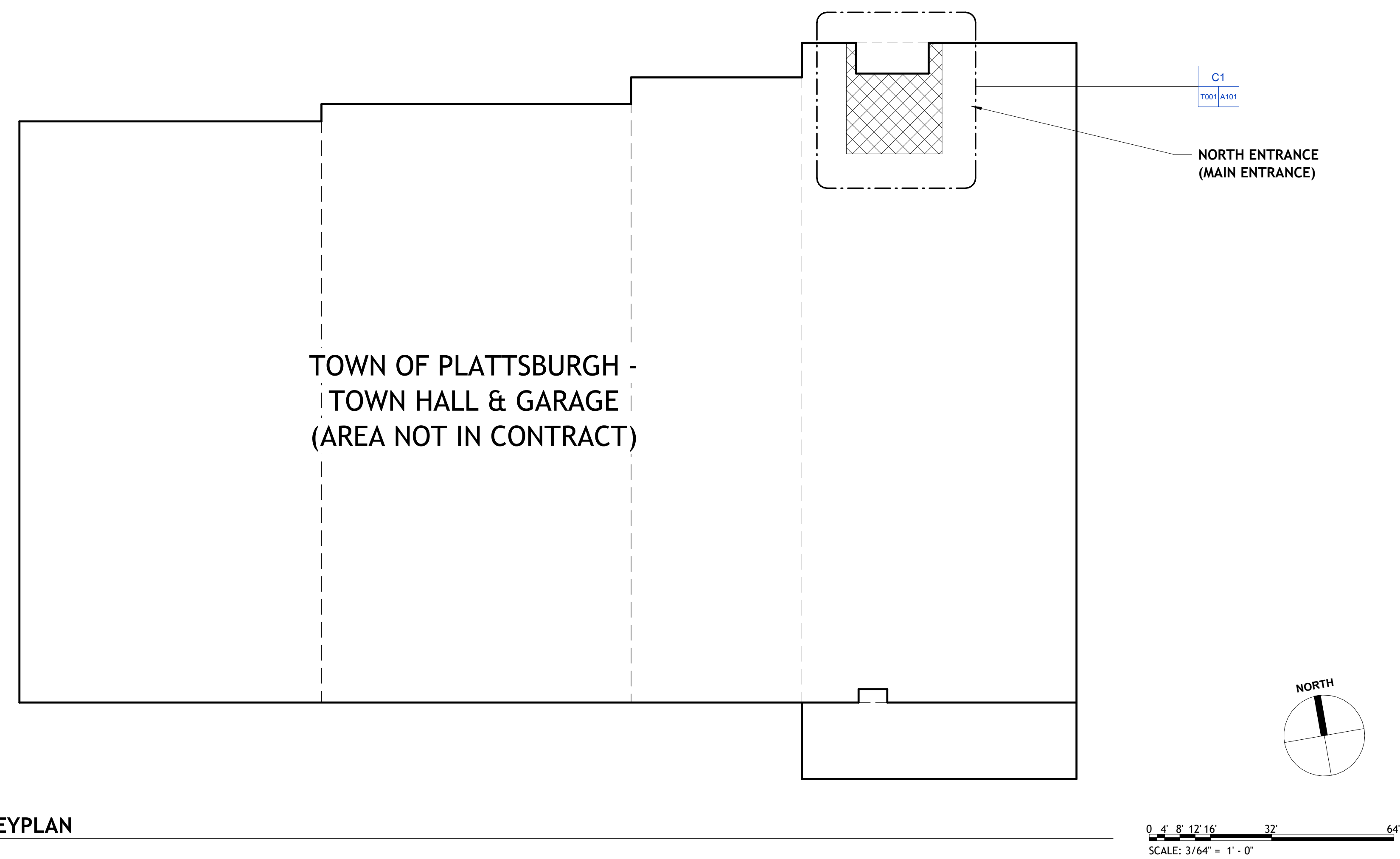


# TOWN OF PLATTSBURGH - TOWN HALL

## NORTH ENTRANCE ACCESSIBILITY

### 151 BANKER ROAD, TOWN OF PLATTSBURGH, NEW YORK 12901



KEYPLAN

#### PROJECT SCOPE

##### WORK BY OWNER

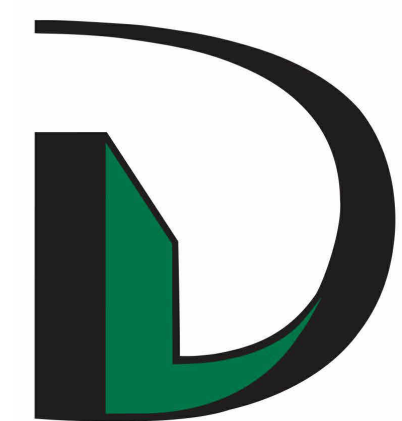
- NORTH ENTRANCE (MAIN ENTRANCE)
1. REMOVE FURNITURE, EQUIPMENT, AND ALL WANTED ITEMS FROM VESTIBULE PRIOR TO START OF WORK.

##### WORK BY CONTRACTOR

- NORTH ENTRANCE (MAIN ENTRANCE)
1. DEMOLITION OF EXISTING ALUMINUM STOREFRONT AND HOLLOW METAL ENTRANCE ASSEMBLIES.
  2. PROVIDE NEW EXTERIOR VESTIBULE ALUMINUM STOREFRONT, DOUBLE DOORS & SIDELIGHTS CONSTRUCTED IN SAME LOCATION AS EXISTING ASSEMBLY. WORK TO INCLUDE ALL OPERATING HARDWARE.
  3. PROVIDE NEW INTERIOR VESTIBULE ALUMINUM STOREFRONT, DOUBLE DOORS & SIDELIGHTS CONSTRUCTED IN SAME LOCATION AS EXISTING ASSEMBLY. WORK TO INCLUDE ALL OPERATING HARDWARE.
  4. ALL NEW ENTRANCES TO BE ADA COMPLIANT.
  5. ALL EXISTING FLOORS, WALLS AND CEILINGS TO REMAIN.
  6. PROVIDE ADA PUSHPADS & AUTOMATIC DOOR OPERATOR FOR BOTH VESTIBULE DOORS.

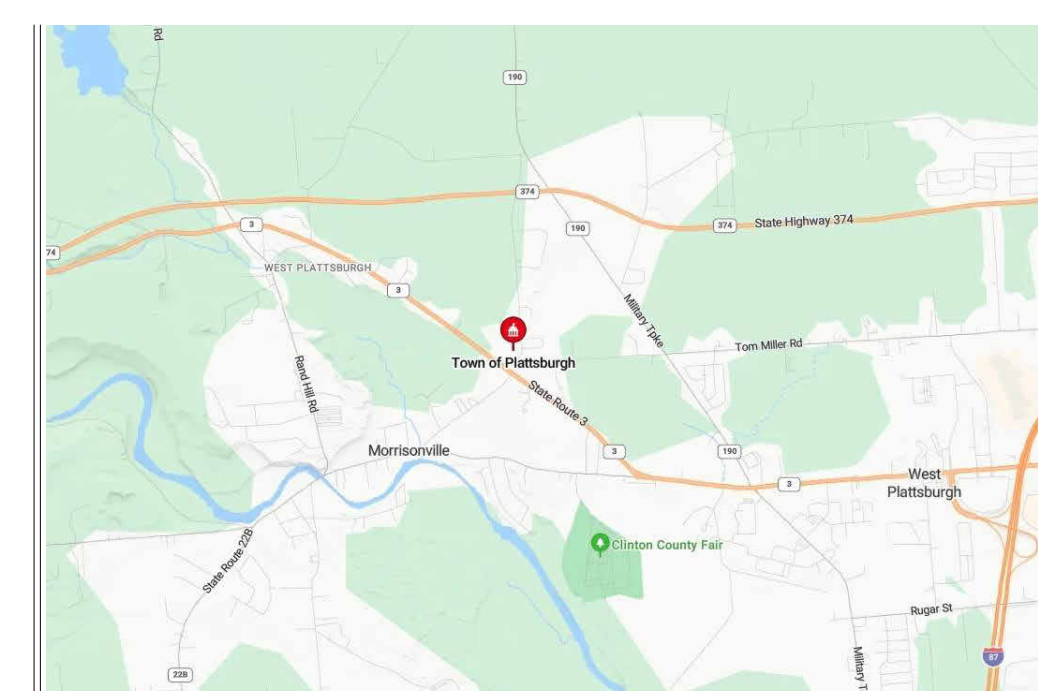
#### SHEET LIST

SHEET NUMBER	SHEET NAME
1. TITLE	
T001	TITLE SHEET
2. GENERAL	
G001	GENERAL NOTES & BUILDING CODE ANALYSIS
4. ARCHITECTURAL	
A001	ARCHITECTURAL - NOTES, LEGEND & DETAILS
A101	NORTH ENTRANCE PLAN, ELEVATIONS, NOTES & SCHEDULES
A501	ALUMINUM STOREFRONT ENTRANCE DETAILS

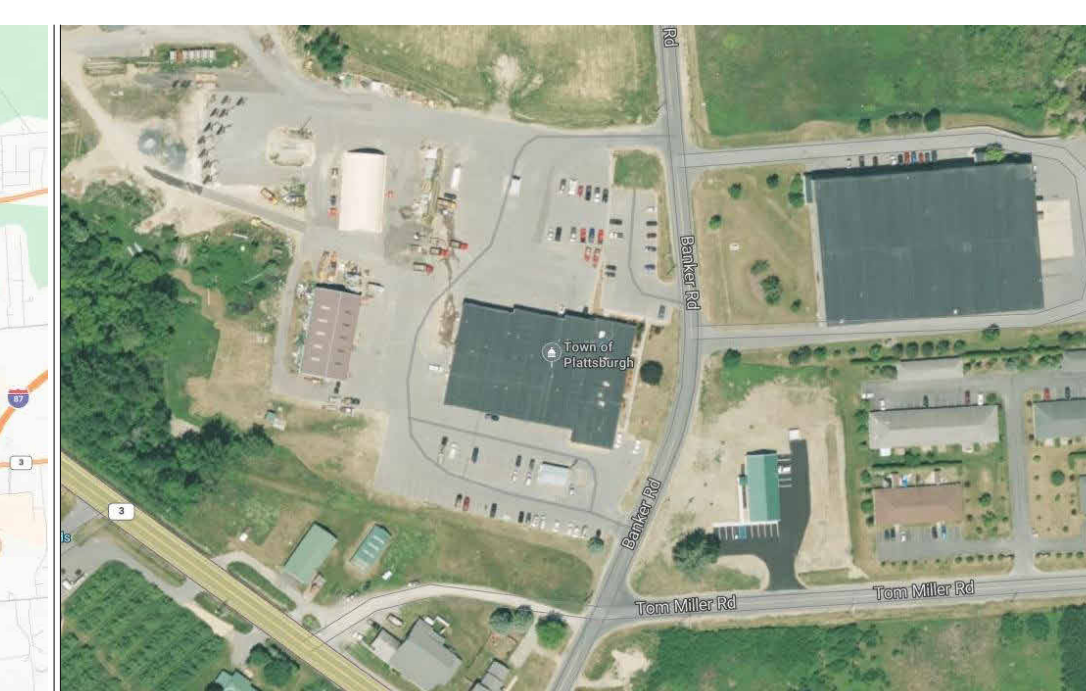


ARCHITECTURAL & ENGINEERING  
DESIGN ASSOCIATES, P.C.  
1246 ROUTE 3 - P.O. BOX 762  
PLATTSBURGH, NY 12901  
T: 518-562-1800  
F: 518-562-1702  
E: JAA@AEDAPC.COM

#### LOCATION MAP



#### AERIAL VIEW



CONSTRUCTION  
DOCUMENT  
PHASE  
SERVICES 100%



#### TITLE SHEET

PROJECT NO. 23025-001  
DATE 03-07-25  
DRAWN BY LKT / JK  
CHECKED BY SEC

T001

BUILDING CODE ANALYSIS

PROJECT DESCRIPTION:

The project includes renovations with ADA Improvements to the existing Town of Plattsburgh Town Hall North Entrance.

ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- 2020 BUILDING CODE OF NEW YORK STATE
2020 EXISTING BUILDING CODE OF NEW YORK STATE (ALTERATIONS- LEVEL 1)
2020 PLUMBING, MECHANICAL, AND FUEL GAS CODES OF NEW YORK STATE
2020 FIRE AND PROPERTY MAINTENANCE CODES OF NEW YORK STATE
2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
2009 ICC A117.1 STANDARD FOR ACCESSIBLE AND USABLE BUILDING AND FACILITIES
2017 NATIONAL ELECTRICAL CODE, NFPA 70

BUILDING DATA:

OCCUPANCY CLASSIFICATION: (BC 304 & 311)

- Group B - Civic Administration
Group S-1 Moderate-Hazard Storage - Motor Vehicle Repair Garage
Group S-2 Low-Hazard Storage - Parking Garage, Enclosed

CONSTRUCTION CLASSIFICATION: (BC 602)

- Type IIB - Non-Combustible

BUILDING HEIGHT: (BC TABLE 504.3 & 504.4) NON-SPRINKLERED (NS)

- Group B - Allowed 55'-0" Height, Existing Height | Allowed 3 Stories, Existing 1 Story with Basement
Group S-1 - Allowed 55'-0" Height, Existing Height | Allowed 2 Stories, Existing 1 Story
Group S-2 - Allowed 55'-0" Height, Existing Height | Allowed 3 Stories, Existing 1 Story

BUILDING AREA: (BC TABLE 506.2) NON-SPRINKLERED (NS)

- Group B - Allowed 23,000 sf without Allowable Area Increase, Existing 13,828 +/- sf with Basement
Group S-1 - Allowed 17,500 sf without Allowable Area Increase, Pre-Existing 7,303 +/- sf (Non-Conforming)
Group S-2 - Allowed 26,500 sf without Allowable Area Increase, Existing 24,684 +/- sf

FIRE PROTECTION: (BC 903, 906, 907, 915)

- Automatic Sprinkler System - NR
Portable Fire Extinguishers - Required
Manual Fire Alarm System - Existing
Carbon Monoxide Detection - Required

2020 EXISTING BUILDING CODE OF NEW YORK STATE

SECTION 305-ACCESSIBILITY FOR EXISTING BUILDINGS
305.1 Scope. The provisions of Sections 305.1 through 305.9 apply to maintenance, change of occupancy, additions and alterations to existing buildings, including those identified as historic buildings.
305.2 Maintenance of facilities. A facility that is constructed or altered to be accessible shall be maintained accessible during occupancy.
305.3 Extent of application. An alteration of an existing facility shall not impose a requirement for greater accessibility than that which would be required for new construction. Alterations shall not reduce or have the effect of reducing accessibility of a facility or portion of a facility.

305.6 Alterations. A facility that is altered shall comply with the applicable provisions in Chapter 11 of the Building Code of New York State, unless technically infeasible. Where compliance with this section is technically infeasible, the alteration shall provide access to the maximum extent technically feasible.
305.7 Alterations affecting an area containing a primary function. Where an alteration affects the accessibility to, or contains an area of primary function, the route to the primary function area shall be accessible. The accessible route to the primary function area shall include toilet facilities and drinking fountains serving the area of primary function.
"Exceptions:
4. This provision does not apply to alterations undertaken for the primary purpose of increasing the accessibility of a facility."

CHAPTER 6-CLASSIFICATION OF WORK

SECTION 602-ALTERATION-LEVEL 1

"602.1 Scope. Level 1 alterations include the removal and replacement or the covering of existing materials, elements, equipment, or fixtures using new materials, elements, equipment, or fixtures that serve the same purpose.
602.2 Application. Level 1 alterations shall comply with the provisions of Chapter 7."

CHAPTER 7-ALTERATION LEVEL 1

SECTION 701-GENERAL

"701.2 Conformance. An existing building or portion thereof shall not be altered such that the building becomes less safe than its existing condition."

SECTION 702-BUILDING ELEMENTS AND MATERIALS

"702.1 Interior finishes. Newly installed interior wall and ceiling finishes shall comply with Chapter 8 of the Building Code of New York State."

702.2 Interior floor finish. New interior floor finish, including new carpeting used as an interior floor finish material, shall comply with Section 804 of the Building Code of New York State.

"702.6 Materials and methods. New work shall comply with the materials and methods requirements in the Building Code of New York State, Energy Conservation Construction Code of New York State."

SECTION 703-FIRE PROTECTION

703.1 General. Alterations shall be done in a manner that maintains the level of fire protection provided. SECTION 704-MEANS OF EGRESS

"704.1 General. Alterations shall be done in a manner that maintains the level of protection provided for the means of egress."

SECTION 707-ENERGY CONSERVATION

"707.1 Minimum requirements. Level 1 alterations to existing buildings or structures do not require the entire building or structure to comply with the energy requirements of the Energy Conservation Construction Code of New York State or Residential Code of New York State. The alterations shall conform to the energy requirements of the Energy Conservation Construction Code of New York State or Residential Code of New York State as they relate to new construction only."

PROJECT ABBREVIATIONS

NOTE: EVERY EFFORT WILL BE MADE TO USE FULL WORDS INSTEAD OF ABBREVIATIONS

EXCEPTIONS: WHERE SPACE REQUIREMENTS PROHIBIT IT OR WHERE STANDARD INDUSTRY ABBREVIATIONS ARE GENERALLY ACCEPTABLE SUBSTITUTES

Table with 2 columns: Abbreviation and Full Name. Includes symbols for AND, AT, DIAMETER, NUMBER, POUND(S), FIRST, SECOND, THIRD, FOURTH, FIFTH, ACOUSTIC CEILING TILE, ABOVE FINISH FLOOR, BENCH MARK, BOTTOM OF, CONTROL JOINT, CENTERLINE, CONCRETE MASONRY UNIT, CARPET, CERAMIC TILE, DEMOLISH OR DEMOLITION, DOWN, DRAWING, EACH, ELECTRICAL CONTRACTOR, EXTERIOR INSULATION AND FINISH SYSTEM, ELECTRICAL, ELEVATION, ETHYLENE PROPYLENE DIENE MONOMER, EACH WAY, FLOOR DRAIN, FINISH FLOOR, FIRE RATED GYPSUM WALL BOARD, GAGE/GAUGE, GENERAL CONTRACTOR, GYPSUM WALL BOARD, HOLLOW METAL, HOT WATER, HEATING VENTILATION & AIR CONDITIONING, INSULATED CONCRETE FORM, MAXIMUM, MECHANICAL CONTRACTOR, MECHANICAL, MINIMUM, MISCELLANEOUS, METAL, MOISTURE RESISTANT GYPSUM WALL BOARD, NOT IN CONTRACT, NOT TO SCALE, ON CENTER, ORIENTED STRAND BOARD, PLUMBING CONTRACTOR, PLUMBING, PRESSURE TREATED, POUNDS PER SQUARE FOOT, POUNDS PER SQUARE INCH, POLYVINYL CHLORIDE, REFLECTED CEILING PLAN, ROOM, ROUGH OPENING, SIMILAR, STAINLESS STEEL, STRUCTURAL, TONGUE AND GROOVE, TOP OF TYPICAL, UNLESS NOTED OTHERWISE, VERIFY IN FIELD, WITH, WITHOUT, WOOD, WELDED WIRE FABRIC, WELDED WIRE MESH.

GENERAL NOTES

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
2. ALL WORK DETAILED AND/OR SPECIFICALLY DENOTED ON THIS DRAWING SHALL BE BY GENERAL CONTRACTOR UNLESS OTHERWISE INDICATED. REFERENCE ALL DRAWINGS FOR ADDITIONAL SCOPE OF WORK REQUIREMENTS.
3. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION OR ORDER OF ANY CUSTOM MATERIALS. INCONSISTENCIES IN PLANS MUST BE REPORTED TO THE OWNER AND ARCHITECT/ENGINEER.
4. WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS & DETAILS AND BE RESPONSIBLE FOR SAME.
5. EXTERIOR DIMENSIONS ARE TO FACE OF STUDS. INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUDS.
6. CONFORM TO ALL DIMENSIONS INDICATED IN PREFERENCE TO SCALED DIMENSIONS FROM THE DRAWINGS.
7. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR EXPOSED TO WEATHER TO BE PRESSURE TREATED.
8. SEAL ALL PENETRATIONS THRU EXTERIOR, INTERIOR, FOUNDATION, FLOOR & FIRE RATED WALL/FLOOR & CEILING ASSEMBLIES W/ APPROVED MATERIALS. CONFORM TO U.L. STANDARDS FOR FIRE RATED ASSEMBLIES.

GENERAL DEMOLITION NOTES

- 1. ALL EXISTING COMPONENTS TO REMAIN THAT ARE DAMAGED DUE TO DEMOLITION OPERATIONS SHALL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO OWNER.
2. CONTRACTOR TO PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES AND IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
3. EXCEPT WHERE NOTED OTHERWISE, LEGALLY REMOVE ALL DEMOLISHED MATERIALS OFF SITE IMMEDIATELY.
4. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER TO ACCOMMODATE NEW WORK.
5. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION. DEMOLISH WITHOUT EXCESSIVE NOISE OR FUMES, SO AS NOT TO DISRUPT BUSINESS OF ADJACENT ACTIVITIES.
6. CONTRACTOR SHALL COORDINATE DEMOLITION WORK SO TO LIMIT DISRUPTION & DAMAGE OF EXT'G COMPONENTS TO REMAIN TO THE MAXIMUM EXTENT POSSIBLE. GENERAL CONTRACTOR TO PROVIDE A PLAN & SCHEDULE FOR DEMOLITION TO THE OWNER/ENGINEER FOR APPROVAL PRIOR TO STARTING THE WORK.
7. CONTRACTOR TO COORDINATE W/ TRADES FOR ISOLATION, TEMPORARY SUPPORT & TERMINATION OF EXISTING SYSTEMS AFFECTED BY DEMOLITION WORK.
8. PRIOR TO START OF WORK, CONTRACTOR TO COORDINATE W/ OWNER/ENGINEER REGARDING POSSIBLE SALVAGE OF ALL ITEMS BEING REMOVED AND REMOVAL & RELOCATION OF ALL EXISTING EQUIPMENT DEFINED WITHIN WORK SCOPE.
9. PROTECT ALL INTERIOR FINISHES DURING DEMOLITION. PATCH, REPAIR, AND REPLACE ANY DAMAGED FINISHES DURING CONSTRUCTION TO MATCH EXISTING. FINISH ENTIRE EXPOSED WALL SURFACES AFFECTED BY DEMOLITION AND/OR DAMAGE TO MATCH EXISTING AS REQUIRED.

ELECTRICAL NOTES - GENERAL

- 1. ALL ELECTRICAL WORK TO CONFORM TO 2020 BUILDING CODE OF NEW YORK STATE, CHAPTER 27 & NFPA 70, N.E.C. 2017 STANDARDS.
2. PROVIDE SUBMITTALS FOR APPROVAL FOR ALL EQUIPMENT, FIXTURES, CONTROLS, ETC. FOR COMPLETE ELECTRICAL SCOPE OF WORK.
3. PROVIDE ELECTRICAL INSPECTION UNDERWRITERS CERTIFICATE AT COMPLETION OF PROJECT TO OWNER/ARCHITECT.
4. CONFIRM LAYOUT OF ALL ELECTRICAL WITH OWNER/ARCHITECT PRIOR TO INSTALLATION.
5. SEAL ALL PENETRATIONS THRU EXTERIOR, INTERIOR, FOUNDATION, FLOOR & FIRE RATED WALL/FLOOR & CEILING ASSEMBLIES AS REQUIRED W/ APPROVED MATERIALS. CONFORM TO U.L. STANDARDS FOR FIRE RATED ASSEMBLIES.
6. ALL ELECTRICAL DEVICES WITHIN FIRE RATED ASSEMBLIES, SHALL BE INSTALLED AS TESTED IN THE APPROVED FIRE RESISTANCE RATED ASSEMBLY.

DRAWING SYMBOLS

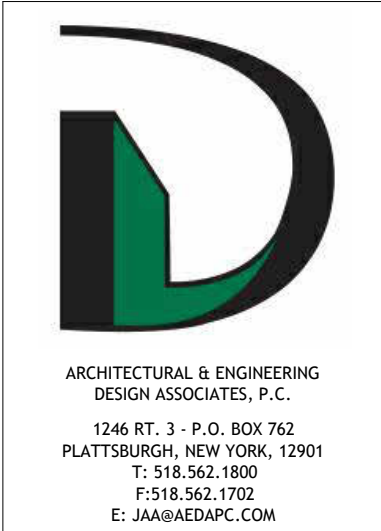
Table mapping line styles to drawing symbols: BEYOND, CALLOUT BOUNDARY, CENTERLINE, CONTINUOUS LINE, CONTROL JOINT, DEMOLISHED, FLASHING, GRID LINE, GRADE, HIDDEN, MATCHLINE, OVERHEAD, UNDERLAYMENT, VAPOR BARRIER, WEATHER BARRIER.

MATERIAL SYMBOLS

Table mapping patterns to material types: UNDISTURBED EARTH, TOPSOIL, PAVING, GRAVEL, SAND, FIBERGLASS INSULATION, RIGID INSULATION, SPRAY FOAM INSULATION, PLYWOOD, GYPSUM BOARD, PARTICLE BOARD, FINISH WOOD, WOOD SHIM, WOOD BLOCKING OR FRAMING, CONCRETE, CONCRETE MASONRY UNIT, BRICK, STONE, STEEL.

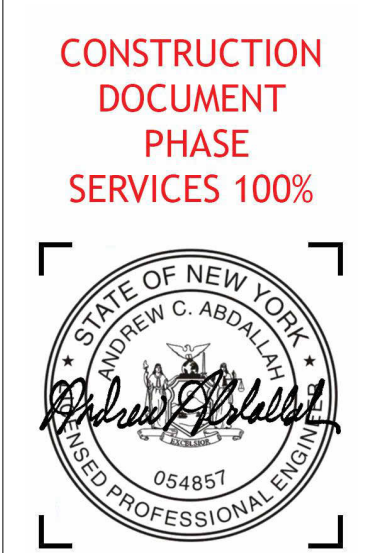
DRAWING SYMBOLS

Technical drawing symbols including: SHEET/DRAWING NUMBERS (A101), DISCIPLINE/SERIES (A-CIVIL), SHEET TYPE SUB SERIES (1-6), GRIDS (A, 1), NORTH ARROW, SLOPE TRIANGLE, PLAN, ELEVATION, SECTION OR DETAIL TITLE, DETAIL NUMBER, VIEW TITLE, DETAIL / SHEET SCALE, VIEW LOCATION, VIEW ORIGIN, GRAPHIC SCALE (1"=12'), ELEVATION REFERENCE (SIM, A101), PHOTO ELEVATION REFERENCE, SECTION REFERENCE, ENLARGED PLAN OR DETAIL REFERENCE, ROOM NAME & ROOM NUMBER, DOOR OR OPENING TAG, WINDOW, LOUVER OR CURTAINWALL TYPE, PARTITION TYPE, REVISION IDENTIFICATION, CEILING TAG, ALIGN FACE OF OBJECTS/SURFACES, CABINET LEGEND, MATCHLINE REFERENCE, SPOT ELEVATION, FLOOR ELEVATION, WALLS, DOORS.



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TOWN OF PLATTSBURGH - TOWN HALL NORTH ENTRANCE ACCESSIBILITY



REVISIONS table with columns: #, BY, DATE.

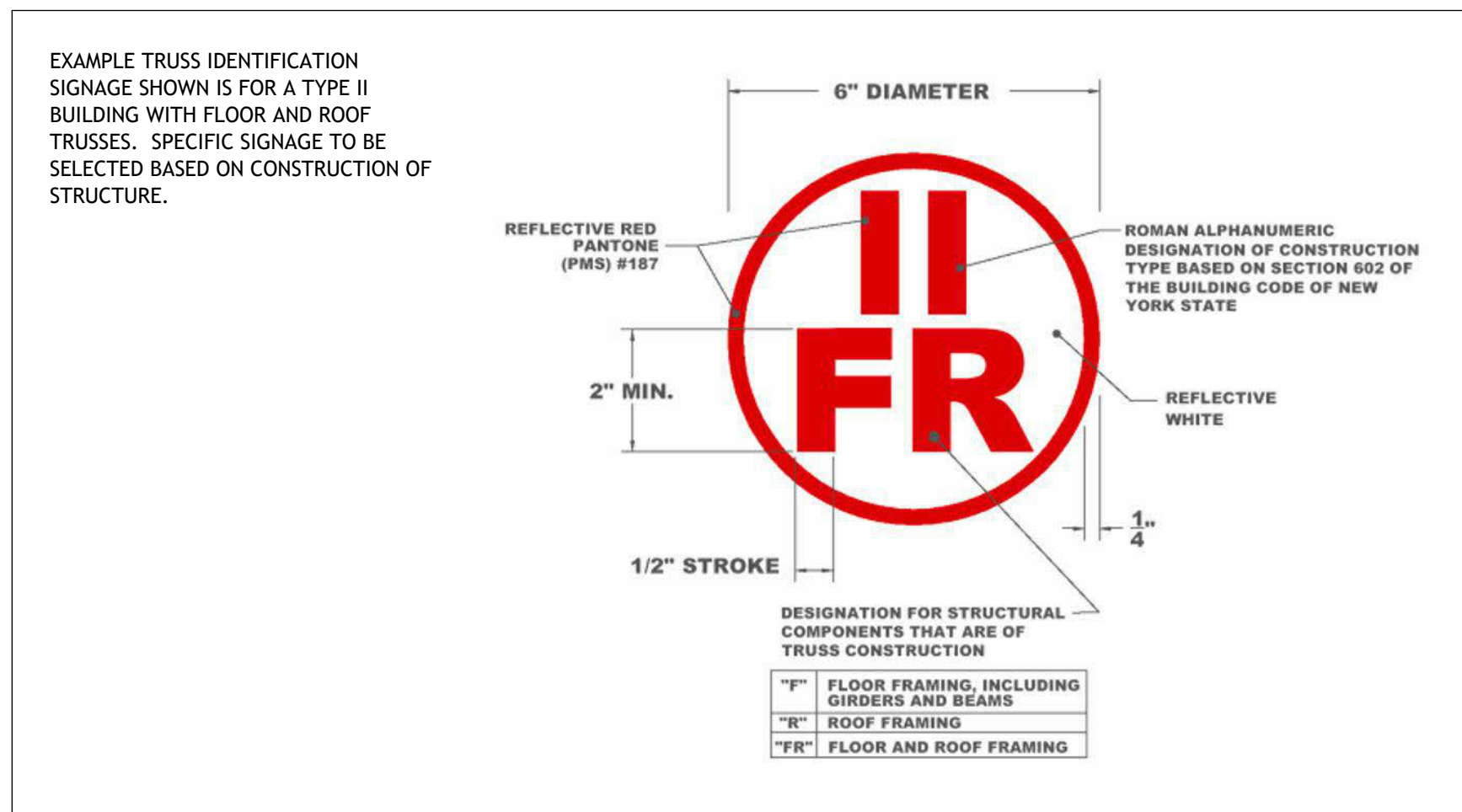
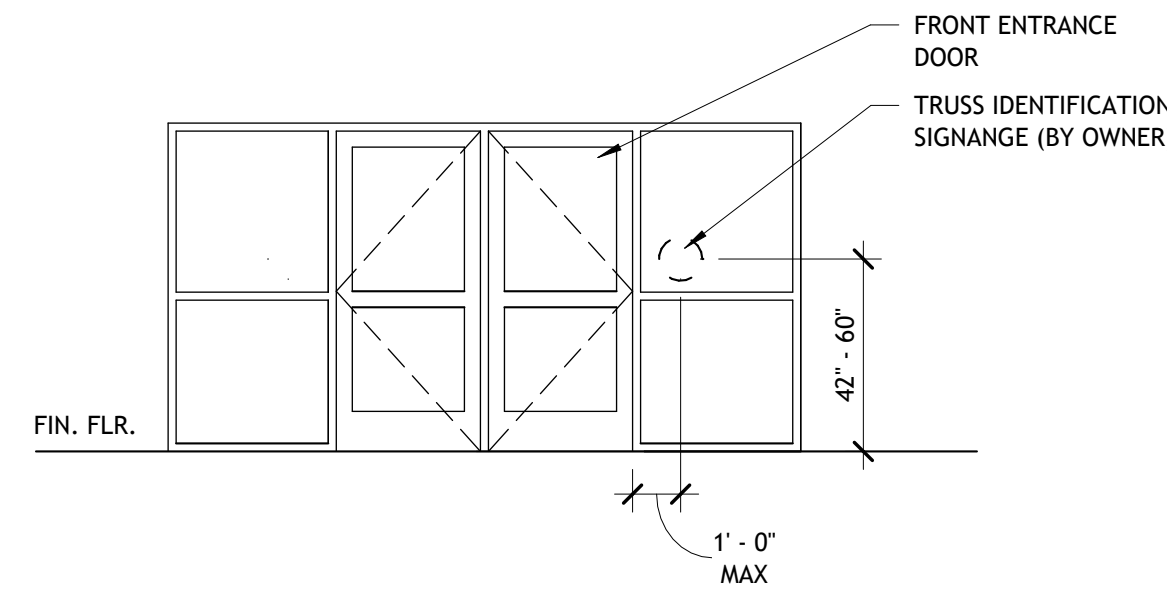
GENERAL NOTES & BUILDING CODE ANALYSIS

PROJECT NO. 23025-001
DATE 03-07-25
DRAWN BY LKT/JK
CHECKED BY SEC

G001

**TRUSS IDENTIFICATION SIGNAGE REQUIREMENTS**

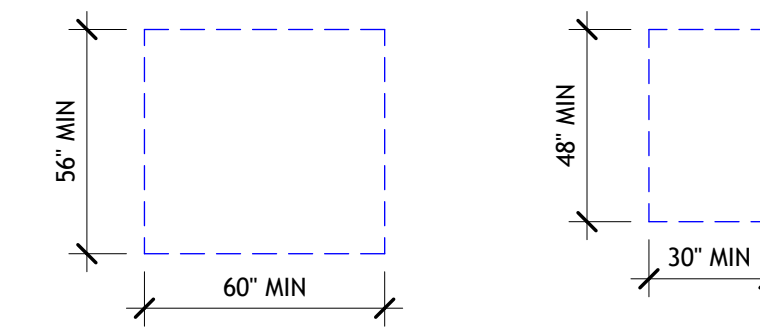
- A. SECTION 382-A OF THE EXECUTIVE LAW PROVIDES THAT COMMERCIAL AND INDUSTRIAL BUILDINGS AND STRUCTURES THAT UTILIZE TRUSS TYPE CONSTRUCTION SHALL BE MARKED BY A SIGN OR SYMBOL THAT INFORMS PERSONS CONDUCTING FIRE CONTROL AND OTHER EMERGENCY OPERATIONS OF THE EXISTENCE OF TRUSS CONSTRUCTION.
- B. SIGNS SHALL BE AFFIXED WHERE A BUILDING OR A PORTION THEREOF IS CLASSIFIED AS GROUP A, B, E, F, H, I, M, OR S OCCUPANCY, AND IN HOTELS AND MOTELS CLASSIFIED AS GROUP R-1 OR R-2 OCCUPANCY, IN ACCORDANCE WITH THE PROVISIONS FOR THE CLASSIFICATION OF BUILDINGS SET FORTH IN CHAPTER 3 OF THE BUILDING CODE OF NEW YORK STATE (SEE 19 NYCRR PART 1221).
- C. SIGNS SHALL BE PROVIDED IN NEWLY CONSTRUCTED BUILDINGS THAT UTILIZE TRUSS TYPE CONSTRUCTION AND IN EXISTING BUILDINGS WHERE AN ADDITION THAT EXTENDS OR INCREASES THE FLOOR AREA OF THE BUILDING UTILIZES TRUSS TYPE CONSTRUCTION. SIGNS SHALL BE AFFIXED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLIANCE.
- D. SIGNS IDENTIFYING THE EXISTENCE OF TRUSS CONSTRUCTION SHALL CONSIST OF A CIRCLE 6 INCHES (152.4 MM) IN DIAMETER, WITH A STROKE WIDTH OF 1/2 INCH (12.7 MM). THE SIGN BACKGROUND SHALL BE REFLECTIVE WHITE IN COLOR. THE CIRCLE AND CONTENTS SHALL BE REFLECTIVE RED IN COLOR, CONFORMING TO PANTONE MATCHING SYSTEM (PMS) #187, WHERE A SIGN IS DIRECTLY APPLIED TO A DOOR OR SIDELIGHT, IT MAY BE A PERMANENT NON-FADING STICKER OR DECAL. SIGNS NOT DIRECTLY APPLIED TO DOORS OR SIDELIGHTS SHALL BE OF STURDY, NON-FADING, WEATHER RESISTANT MATERIAL.
- E. SIGNS IDENTIFYING THE EXISTENCE OF TRUSS CONSTRUCTION SHALL CONTAIN THE ROMAN ALPHANUMERIC DESIGNATION OF THE CONSTRUCTION TYPE OF THE BUILDING, IN ACCORDANCE WITH THE PROVISIONS FOR THE CLASSIFICATION OF TYPES OF CONSTRUCTION SET FORTH IN SECTION 602 OF THE BUILDING CODE OF NEW YORK STATE (SEE 19 NYCRR PART 1221), AND AN ALPHABETIC DESIGNATION FOR THE STRUCTURAL COMPONENTS THAT ARE OF TRUSS CONSTRUCTION, AS FOLLOWS: "F" SHALL MEAN FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS "R" SHALL MEAN ROOF FRAMING "FR" SHALL MEAN FLOOR AND ROOF FRAMING THE CONSTRUCTION TYPE DESIGNATION SHALL BE PLACED AT THE TWELVE O'CLOCK POSITION OVER THE STRUCTURAL COMPONENT DESIGNATION, WHICH SHALL BE PLACED AT THE SIX O'CLOCK POSITION.
- F. SIGNAGE LOCATIONS:
  - EXTERIOR BUILDING ENTRANCE DOORS, EXTERIOR EXIT DISCHARGE DOORS, AND EXTERIOR ROOF ACCESS DOORS TO A STAIRWAY
  - 1. ATTACHED TO THE DOOR, OR ATTACHED TO A SIDELIGHT OR THE FACE OF THE BUILDING, NOT MORE THAN 12 INCHES (305 MM) HORIZONTALLY FROM THE LATCH SIDE OF THE DOOR JAMB, AND NOT LESS THAN 42 INCHES (1067 MM) NOR MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACE.
  - 2. ATTACHED AT EACH END OF THE ROW OF DOORS AND AT A MAXIMUM HORIZONTAL DISTANCE OF 12 FEET (3.65M) BETWEEN SIGNS, AND NOT LESS THAN 42 INCHES (1067 MM) NOR MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACE.



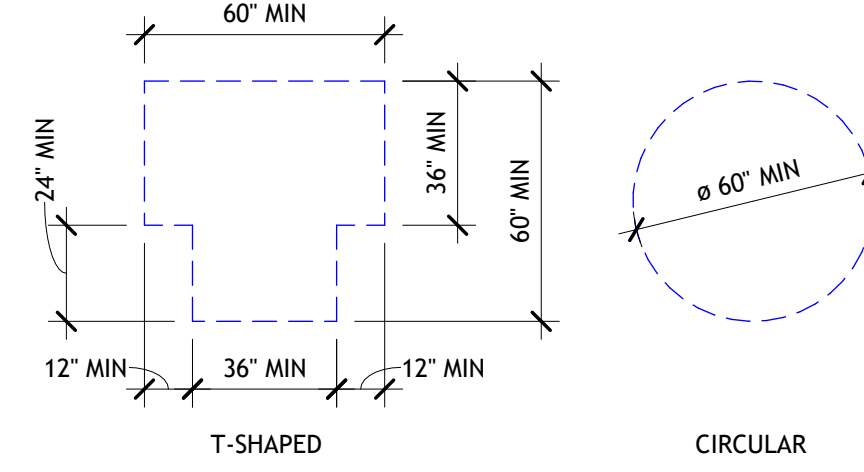
**ACCESSIBILITY LEGEND**

THESE CODE REQUIRED CLEARANCES MUST BE MET.

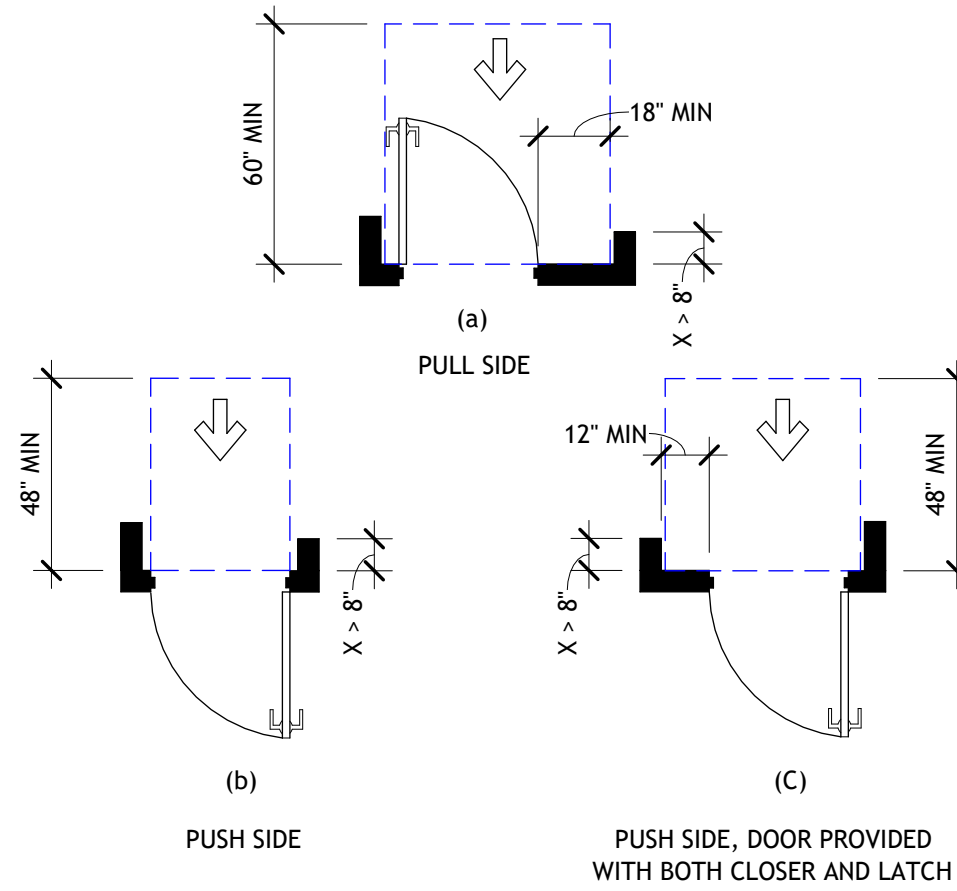
CLEAR FLOOR SPACE - ICC 304.2



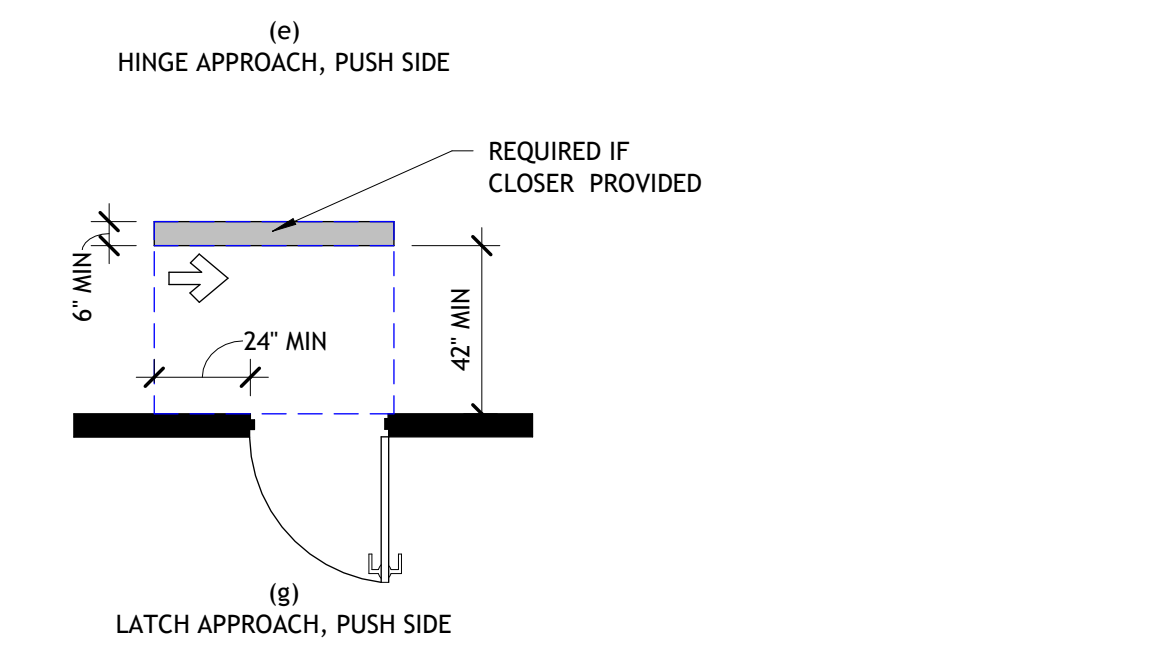
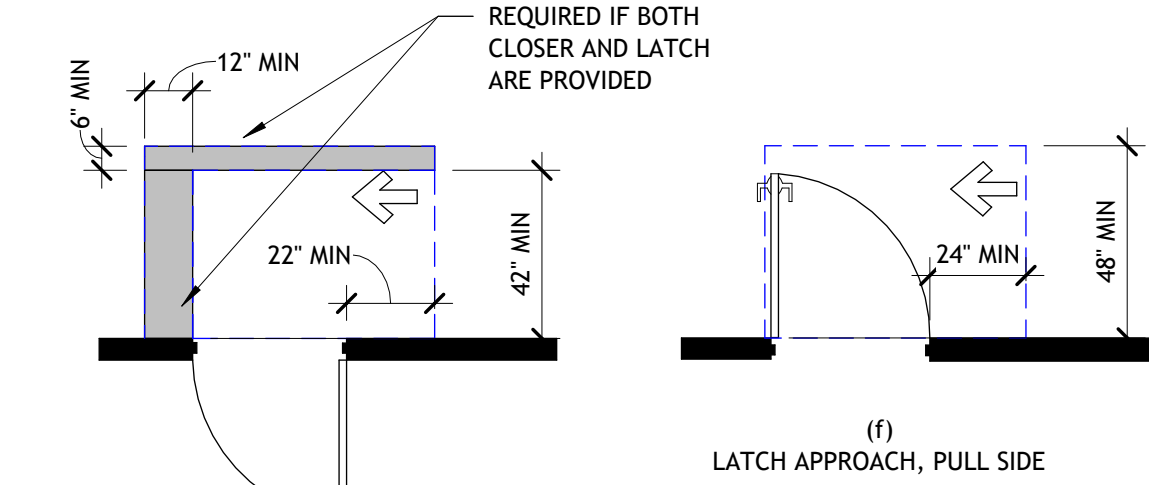
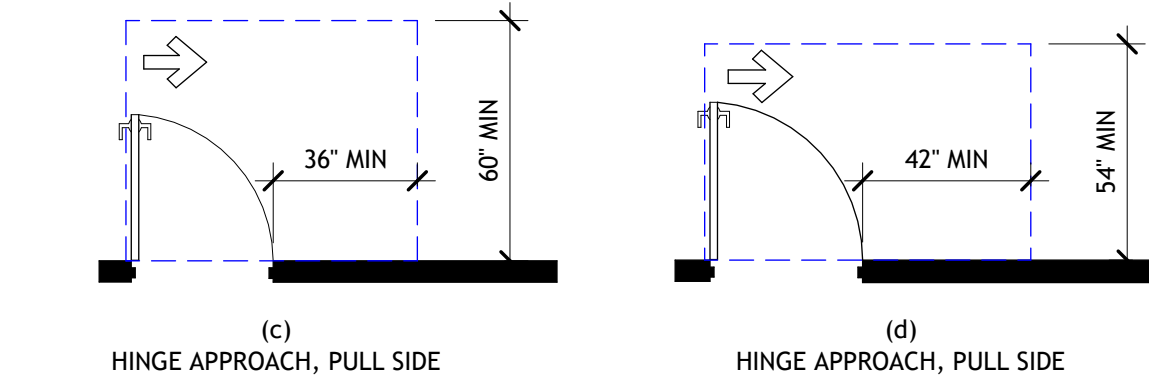
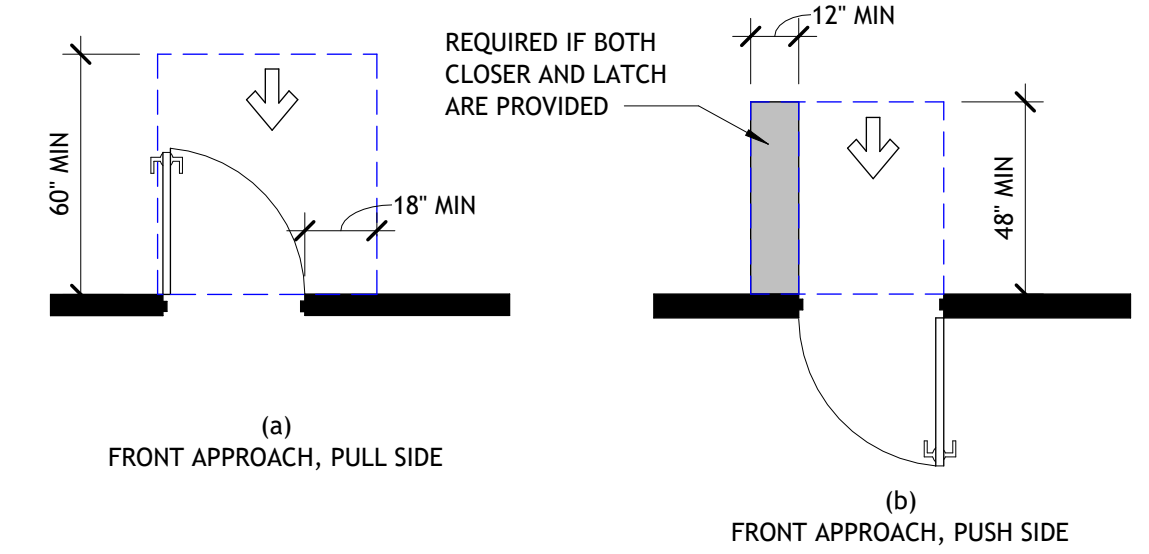
TURNING SPACE - ICC 304.2



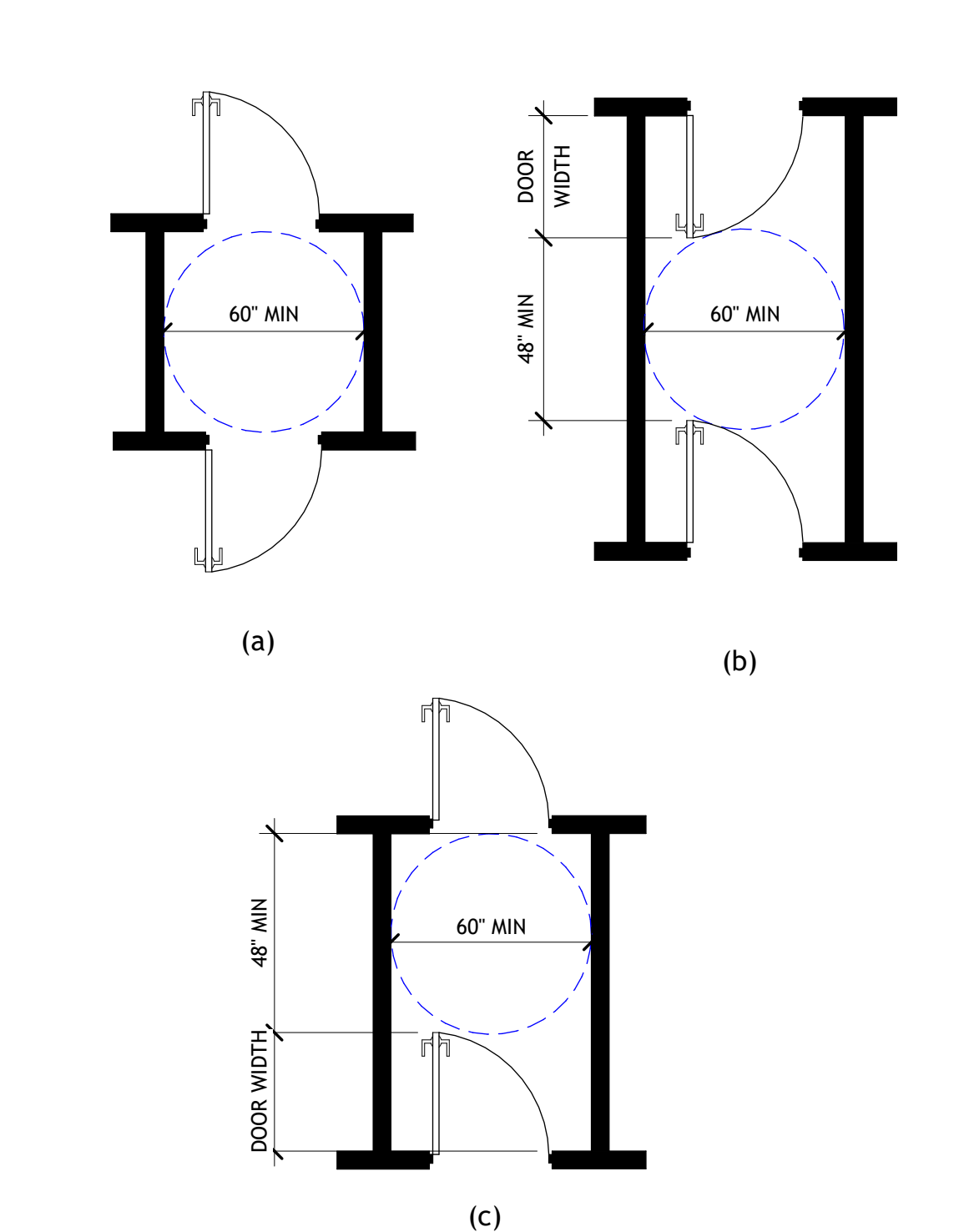
MANEUVERING CLEARANCE AT RECESSED DOORS - ICC 404.2.3.5



MANEUVERING AT MANUAL SWINGING DOOR - ICC 404.2.3.2



MANEUVERING AT TWO DOORS IN A SERIES - ICC 404.2.5



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TOWN OF PLATTSBURGH - TOWN HALL  
NORTH ENTRANCE ACCESSIBILITY

CONSTRUCTION DOCUMENT  
PHASE  
SERVICES 100%

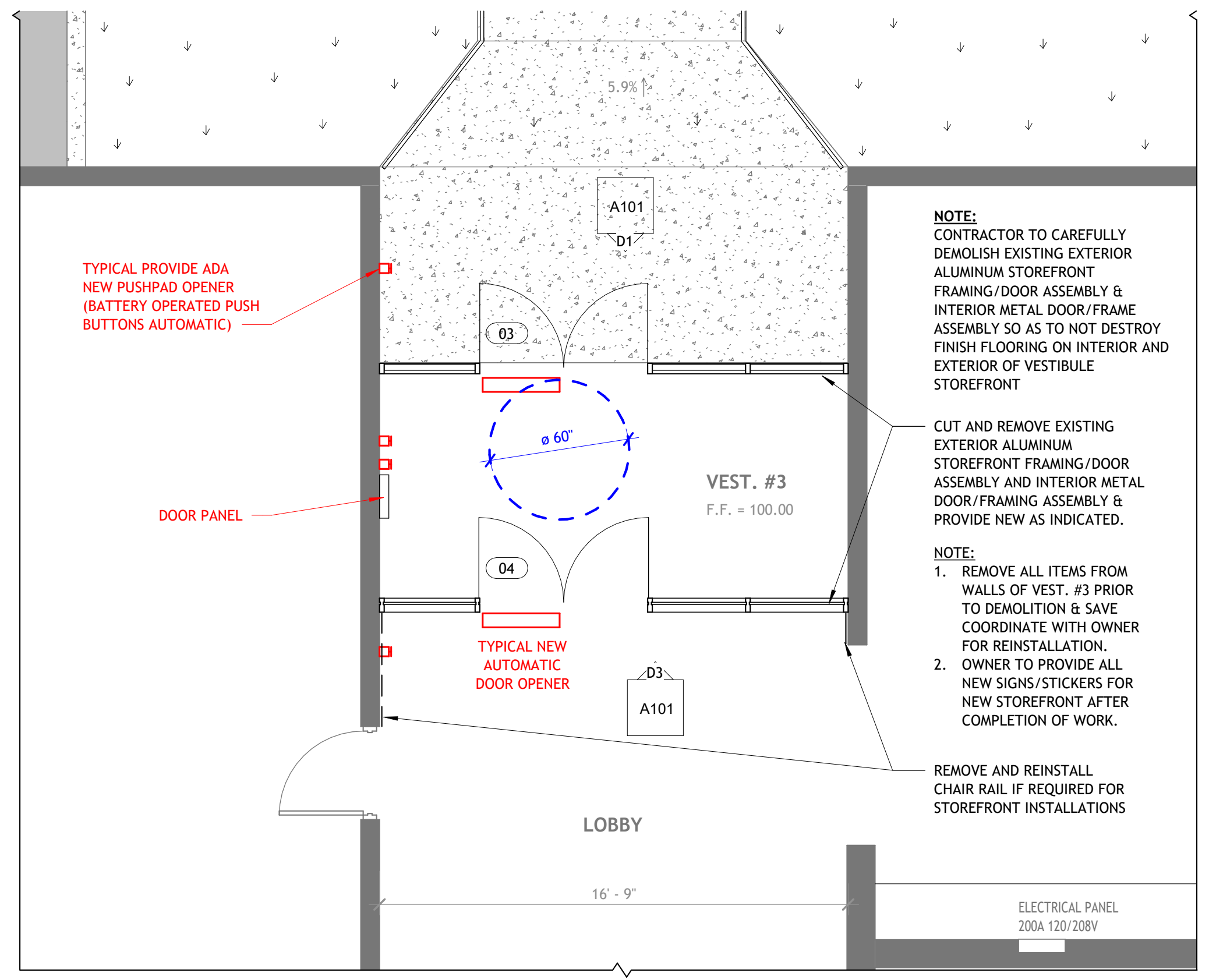


REVISIONS		
#	BY	DATE

ARCHITECTURAL - NOTES, LEGEND & DETAILS

PROJECT NO. 23025-001  
DATE 03-07-25  
DRAWN BY LKT/TSV  
CHECKED BY SEC

A001



**DOOR NOTES (NORTH ENTRANCE)**

- DOOR PACKAGE TO BE APPROVED THROUGH SUBMITTAL PROCESS. ADJACENT SCHEDULE REPRESENTS DESIGN STANDARD. CONTRACTOR TO PROVIDE SAME AS LISTED OR EQUAL.
- ALL ALUMINUM DOOR FRAMES TO BE THERMALLY BROKEN.
- ALL EXTERIOR ALUMINUM STOREFRONT FRAMING AND ENTRANCE DOORS TO BE EQUAL TO "KAWNEER" TRIFAD VERSAGLAZE 452T, FRONT SET THERMALLY BROKEN WITH INSULPOUR 3507 MEDIUM STYLE ENTRANCE DOOR. (COLOR: DARK BRONZE, ANODIZED FINISH)
- ALL INTERIOR ALUMINUM STOREFRONT FRAMING AND ENTRANCE DOORS TO BE EQUAL TO "KAWNEER" TRIFAD VERSAGLAZE 451, CENTER SET 1 1/2" X 2" SNAP TRIM AND CAP WITH 350 MEDIUM STYLE ENTRANCE DOOR. (COLOR: DARK BRONZE, ANODIZED FINISH)

**DOOR GLAZING NOTES**

- ALL EXTERIOR GLAZING TO BE 1" DOUBLE INSULATED LOW 'E' TEMPERED U-VALUE = 0.30 MIN.
- ALL INTERIOR GLAZING TO BE 1/4" TEMPERED.

**DOOR HARDWARE NOTES (NORTH ENTRANCE)**

- DOOR HARDWARE PACKAGE TO BE APPROVED THROUGH SUBMITTAL PROCESS.
- ALL LOCKSETS TO BE INSTALLED WITH CONSTRUCTION CORES. LOCKSETS FURNISHED SHALL ACCEPT 'MEDICO' INTERCHANGEABLE, 7-PIN LOCKSETS, OWNER TO FURNISH CORES. CORES ARE SMALL FORMAT KEYWAYS. PROVIDE LEVERS/LOCKSETS COMPATIBLE WITH SMALL FORMAT. G.C. VERIFY WITH OWNER.
- ALL HARDWARE FINISHES TO BE 626 US26D, SATIN CHROME.
- PROVIDE ALL WIRING TO OWNER PROVIDED ACCESS CONTROL.

**HW3 - (EXTERIOR VESTIBULE DOORS)**  
KAWNEER HINGES: (4 PAIR) BUTT HINGES (W/ ELECTRONIC ACCESS CONTROL & AUTOMATIC DOOR OPENER PUSHPAD CONTROL FOR ACTIVE LEAF ONLY)  
CLOSERS: (2 EA.) LCN 4040 XP, 689 OR EQUAL  
LOCKSETS: (1 EA.) SMALL FORMAT IC KEYED RIM CYLINDER ('MEDICO' CORES) COORDINATE KEYING WITH OWNER  
KAWNEER HARDWARE: (2 EA.) CO-12 PULL, #14 CLEAR ANODIZED  
EXIT DEVICES: (1 EA.) 'VON DUPRIN' 9947 CONCEALED VERTICAL RODS #99-47-EO (ACTIVE) - - 626 OR EQUAL (1 EA.) 'VON DUPRIN' 9947 CONCEALED VERTICAL RODS #99-47-EO (INACTIVE) - - 626 OR EQUAL  
THRESHOLD: (1 EA.) 'PENKO' #217, 4" HALF SADDLE, MILL ALUMINUM OR EQUAL  
KAWNEER WEATHERSTRIPPING: (1 SET) POLYMREIC BULB & SECONDARY IN DOOR FRAMES  
COORDINATE WITH OWNER PROVIDED DOOR ACCESS CONTROL & PROVIDE ALL RELATED WIRING REQUIRED FOR ACCESS CONTROL & AUTOMATIC DOOR OPENER

**HW4 - (INTERIOR VESTIBULE DOORS)**  
KAWNEER HINGES: (4 PAIR) BUTT HINGES (W/ ELECTRONIC ACCESS CONTROL & AUTOMATIC DOOR OPENER PUSHPAD CONTROL FOR ACTIVE LEAF ONLY)  
CLOSERS: (2 EA.) LCN 4040 XP, 689 OR EQUAL  
LOCKSETS: (1 EA.) SMALL FORMAT IC KEYED RIM CYLINDER ('MEDICO' CORES) COORDINATE KEYING WITH OWNER  
KAWNEER HARDWARE: (2 EA.) CO-12, #14 CLEAR ANODIZE  
EXIT DEVICES: (1 EA.) 'VON DUPRIN' 9947 CONCEALED VERTICAL RODS #99-47-EO (ACTIVE) - - 626 OR EQUAL (1 EA.) 'VON DUPRIN' 9947 CONCEALED VERTICAL RODS #99-47-EO (INACTIVE) - - 626 OR EQUAL  
THRESHOLD: (1 EA.) 'PENKO' #217, 4" HALF SADDLE, MILL ALUMINUM OR EQUAL  
KAWNEER WEATHERSTRIPPING: (1 SET) POLYMREIC BULB & SECONDARY IN DOOR FRAMES  
COORDINATE WITH OWNER PROVIDED DOOR ACCESS CONTROL & PROVIDE ALL RELATED WIRING REQUIRED FOR ACCESS CONTROL & AUTOMATIC DOOR OPENER

**DOOR SCHEDULE LEGEND**

SCWD	SOLID CORE WOOD DOOR
HM	HOLLOW METAL
INSUL. HM	INSULATED HOLLOW METAL
GALV. HM	GALVANIZED HOLLOW METAL
GALV. INSUL. HM	GALVANIZED & INSULATED HOLLOW METAL
PRE-FINISHED	FACTORY FINISHED
PAINTED	PAINTED IN FIELD
CWB	GYPSUM WALL BOARD
TG	TEMPERED GLAZING

**AUTOMATIC DOOR OPERATOR NOTES**

AUTOMATIC DOOR OPERATOR EQUAL TO 'STANLEY' M-FORCE SERIES FOR SINGLE SWINGING ALUMINUM DOORS WITH THE FOLLOWING STANDARDS & OPTIONS INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS:

- SINGLE OPERATOR WITH 5A 120V 1P DEDICATED CIRCUIT 20A 1P
- CONTROL SWITCH WITH 3 MODES OF OPERATION, AUTO, OFF & HOLD-OPEN
- BATTERY OPERATED RADIO TRANSMITTER TYPE EXTERIOR & INTERIOR SURFACE MOUNTED PUSH PLATES
- SYSTEM INTEGRATION FOR FUTURE ACCESS CONTROL SYSTEM
- CLEAR ANODIZED FINISH FOR AUTOMATIC DOOR OPERATOR ENCLOSURE
- SIGNAGE AS PER ANSI/BHMA A156.19

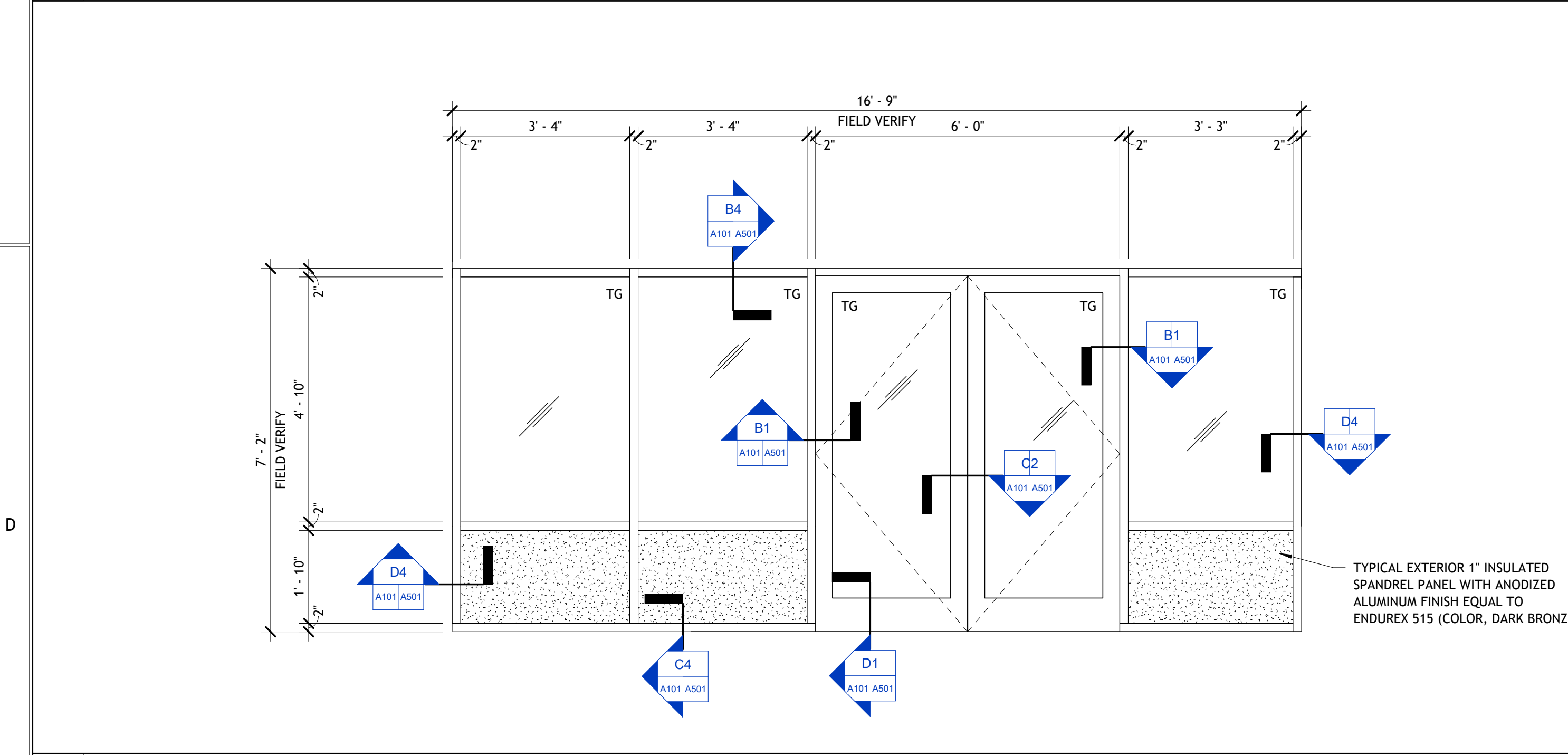
**ELECTRICAL NOTES (NORTH ENTRANCE)**

- WIRE NEW AUTOMATIC DOOR OPENER TO OPEN CIRCUIT IN ELECTRICAL PANEL. G.C. TO COORDINATE WITH OWNER'S REPRESENTATIVE PANEL AND CIRCUIT.
- PUSHPADS TO BE SURFACE MOUNTED. VERIFY LOCATIONS WITH OWNER/ARCHITECT PRIOR TO INSTALL.
- ALL WIRING FROM ELECTRICAL PANEL TO NEW AUTOMATIC DOOR OPENER SHALL BE RUN ABOVE CEILING AND WHERE EXPOSED SHALL BE RUN THROUGH APPROVED SURFACE MOUNTED WIREMOLD/TRAK/DUCT.
- PROVIDE 20A 1P BREAKER & WIRING FOR AUTOMATIC DOOR OPERATOR IN LOBBY TO TOWN CLERKS OFFICE, CIRCUIT #35.

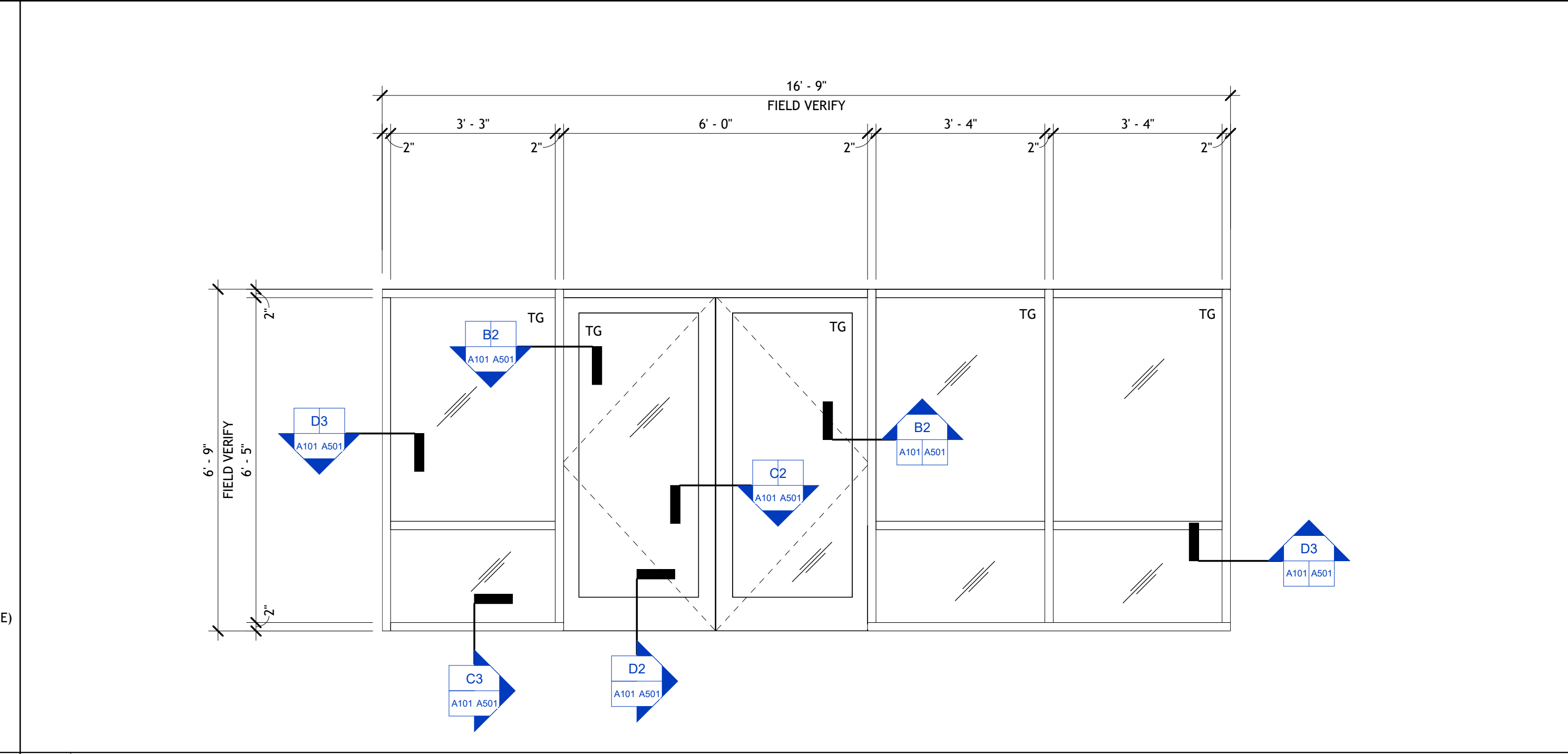
**DOOR SCHEDULE (NORTH ENTRANCE)**

DOOR NUMBER	DOOR					FRAME		FIRE RATING	HARDWARE	REMARKS
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH			
D3	6'-0"	7'-0 1/4"	1 3/4"	PRE-FINISHED ALUMINUM	ANODIZED	PRE-FINISHED ALUMINUM	ANODIZED		HW3	COLOR: DARK BRONZE
D4	6'-0 3/4"	6'-7 3/8"	1 3/4"	PRE-FINISHED ALUMINUM	ANODIZED	PRE-FINISHED ALUMINUM	ANODIZED		HW4	COLOR: DARK BRONZE

**C1 NORTH ENTRANCE PLAN**  
1/4" = 1'-0"  
0 1' 2' 4' 8' 12'  
SCALE: 1/4" = 1'-0"



**D3 NORTH ENTRANCE INTERIOR ELEVATION**  
1/2" = 1'-0"



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TOWN OF PLATTSBURGH - TOWN HALL  
NORTH ENTRANCE ACCESSIBILITY  
151 BANKER ROAD, TOWN OF PLATTSBURGH, NEW YORK 12901

CONSTRUCTION DOCUMENT  
PHASE  
SERVICES 100%



**REVISIONS**

#	BY	DATE

**NORTH ENTRANCE PLAN, ELEVATIONS, NOTES & SCHEDULES**

PROJECT NO. 23025-001  
DATE 03-07-25  
DRAWN BY LKT/TSV/JK  
CHECKED BY SEC

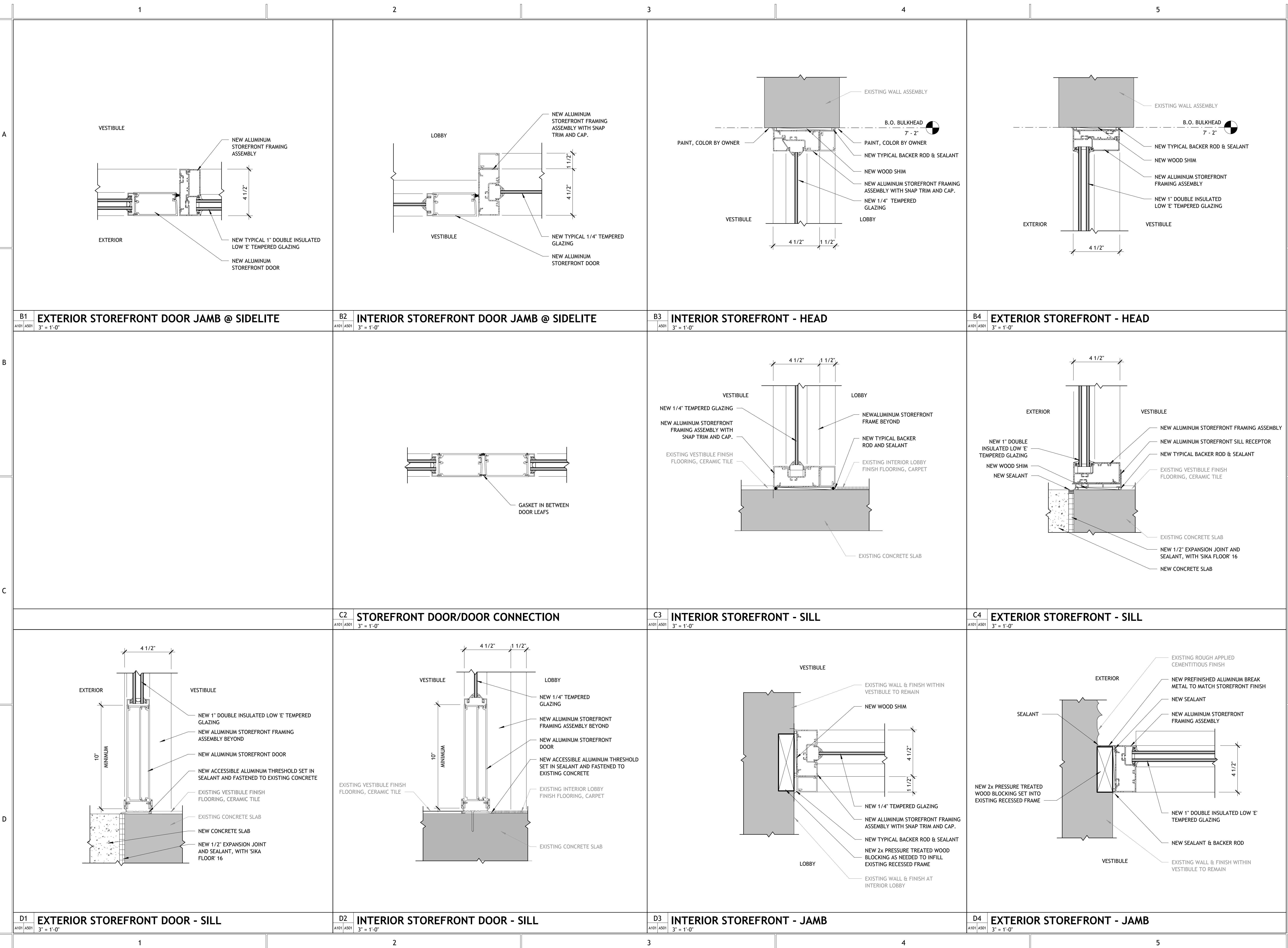
**A101**

REVISIONS		
#	BY	DATE

ALUMINUM STOREFRONT ENTRANCE DETAILS

PROJECT NO. 23025-001  
DATE 03-07-25  
DRAWN BY JRH/TSV  
CHECKED BY SEC

A501



B1 EXTERIOR STOREFRONT DOOR JAMB @ SIDELITE  
A101 | A501 3" = 1'-0"

B2 INTERIOR STOREFRONT DOOR JAMB @ SIDELITE  
A101 | A501 3" = 1'-0"

B3 INTERIOR STOREFRONT - HEAD  
A501 3" = 1'-0"

B4 EXTERIOR STOREFRONT - HEAD  
A101 | A501 3" = 1'-0"

C2 STOREFRONT DOOR/DOOR CONNECTION  
A101 | A501 3" = 1'-0"

C3 INTERIOR STOREFRONT - SILL  
A101 | A501 3" = 1'-0"

C4 EXTERIOR STOREFRONT - SILL  
A101 | A501 3" = 1'-0"

D1 EXTERIOR STOREFRONT DOOR - SILL  
A101 | A501 3" = 1'-0"

D2 INTERIOR STOREFRONT DOOR - SILL  
A101 | A501 3" = 1'-0"

D3 INTERIOR STOREFRONT - JAMB  
A101 | A501 3" = 1'-0"

D4 EXTERIOR STOREFRONT - JAMB  
A101 | A501 3" = 1'-0"